

DEPARTMENT OF RESOURCE MANAGEMENT

JAMES BEZEK
Director

ALLAN CALDER
Planning Services Manager



SOLANO
COUNTY

675 Texas Street, Suite 5500
Fairfield, CA 94533-6342
(707) 784-6765
Fax (707) 784-4805

www.solanocounty.gov

Planning Services Division

SOLANO COUNTY ZONING ADMINISTRATOR

Staff Report MU-25-04

Application No. MU-25-04 Project Planner: Stevie Villatoro, Associate Planner		Meeting of June 5, 2025	
Applicant Curtis Ballentine 4465 Lillys Lane Vacaville CA 95688		Property Owner Curtis Ballentine 4465 Lillys Lane Vacaville CA 95688	
Action Requested Consideration of Minor Use Permit MU-25-04 by Curtis Ballentine to construct a 3,600 square foot residential accessory structure located at 4465 Lillys Lane, 0.1 miles north of the City of Vacaville in the Rural Residential (RR-5) zoning district, APN 0105210290.			
Property Information			
Size: 5.06		Location: 4465 Lillys Lane	
APNs: 0105-210-290			
Zoning: Rural Residential 5-acre minimum (RR-5)		Land Use: Residential accessory building greater than 2,500 square feet in size	
General Plan: Rural Residential		Ag. Contract: N/A	
Utilities: Private well and septic for dwelling		Access: Lillys Lane	
Adjacent General Plan Designation, Zoning District, and Existing Land Use			
	General Plan	Zoning	Land Use
North	Rural Residential	Rural Residential 5-acre (RR-5)	Residential
South	Rural Residential	Exclusive Agricultural 20-acre (A-20)	Residential
East	Rural Residential	Exclusive Agricultural 20-acre (A-20)	Residential
West	Rural Residential	Rural Residential 5-acre (RR-5)	Residential
Environmental Analysis The project is categorically exempt from the California Environmental Quality Act (CEQA) under Section 15303, Class 3 – New Construction or Conversion of Small Structures, Subsection (e), which includes accessory structures such as garages, carports, patios, swimming pools, and fences. Additional details are provided in the Environmental Analysis (CEQA) section below.			
Motion to Approve Staff recommends that the Zoning Administrator ADOPT the attached resolution based on the required findings and APPROVE Minor Use Permit MU-25-04, subject to the recommended conditions of approval.			

DISCUSSION

Setting

The subject property is located approximately 0.1 miles north of the City of Vacaville and consists of one parcel (APN 0105-210-290) encompassing 5.06 acres. It falls within the jurisdiction of the Board of Forestry and Fire Protection, where specific development standards apply. The property is developed with a primary residence and a detached garage, both constructed in 1978, according to County Assessors records, along with an existing 192 square-foot shed. Access is provided via a driveway from Lillys Lane, a private road.

Surrounding Land Use

Surrounding properties are generally similar in size and developed with residential uses, except for parcels directly to the east, which are less than one acre in size.

PROJECT DESCRIPTION

Proposed Use

The proposed project includes construction of a new 3,600 square foot accessory structure. Existing and proposed structures are shown on the site plan, Exhibit B. The proposed residential accessory structure will be used by the property owner for storage of personal recreational vehicles and farming equipment. Electrical may be added during the building permit phase; however, no plumbing is being proposed.

LAND USE CONSISTENCY

General Plan

The project is designated Rural Residential under the Solano County General Plan Land Use Diagram (Figure LU-1) and is zoned Rural Residential 5-acre minimum (RR-5). The zoning designation is consistent with the land use policies outlined in the 2008 General Plan. Within the RR-5 zoning district, residential accessory structures exceeding 2500 square feet are permitted, provided they comply with all applicable development standards and are approved through the appropriate permitting process, as detailed below.

Zoning

General Standards: The proposed use will comply with all applicable standards outlined in §28.72.10 of the Solano County Code, provided it operates in accordance with the recommended conditions of approval.

Specific Standards: The subject parcel is zoned RR-5, where Accessory Residential Buildings exceeding 2,500 square feet are permitted with the approval of a Minor Use Permit, pursuant to §28.72.30(B)(1) of the Solano County Code.

Fire Protection

The subject parcel is located within the Board of Forestry and Fire Protection's State Responsibility Area (SRA). Properties located within the SRA are subject to the SRA Developmental standards, which requires new structures to be a minimum of 30 feet away from all property lines. The project meets this requirement, as the proposed residential accessory building is more than 100 feet from all property lines.

As proposed and conditioned, this project will comply with all applicable zoning standards as described above.



Figure 1: Vicinity Map and Project Location

ENVIRONMENTAL ANALYSIS (CEQA)

The project is exempt from the California Environmental Quality Act under CEQA Guidelines Sections 15303 (Class 3), New Construction or Conversion of Small Structures.

- Consistent with the Class 3 exemption, the project includes one new structure that will be used to store the owner's personal vehicles and farming equipment. The proposed structure is consistent with the maximum size allowable on the legal parcel. Section 15303(e) includes as

examples of this exemption accessory (appurtenant) structures including, but not limited to, garages, carports, patios, swimming pools, and fences. The proposed structure is a small accessory structure, consistent with the examples listed above, and is appurtenant to the residential use of the property.

With the implementation of standard County conditions of approval, the development and operation of the proposed project is not anticipated to cause significant effects on the environment.

PUBLIC HEARING NOTICE

In accordance with Solano County Zoning Regulations, a Notice of Public Hearing (Exhibit D) was published at least 15 days before the scheduled hearing in the Vacaville Reporter and the Daily Republic. In addition, all property owners of real property as shown on the latest equalized assessment roll within 1/2 mile of the property, and all persons requesting notification, were mailed notices of the hearing.

RECOMMENDATION

Staff recommends that the Zoning Administrator **ADOPT** the mandatory and suggested findings and **APPROVE** Minor Use Permit No. MU-25-04, subject to the recommended conditions of approval.

Attachments:

- A. Draft Resolution
- B. Site Plan
- C. Metal Building Plans
- D. Public Notice

SOLANO COUNTY ZONING ADMINISTRATOR RESOLUTION NO. 25-XX

WHEREAS, the Solano County Zoning Administrator has considered Minor Use Permit application MU-25-04 by Curtis Ballentine to construct a 3,600 square foot residential accessory structure located at 4465 Lillys Lane, 0.1 miles north of the City of Vacaville in the Rural Residential (RR-5) zoning district, APN 0105-210-290; and

WHEREAS, said Zoning Administrator has reviewed the report of the Department of Resource Management and heard testimony relative to the subject application at the duly noticed public hearing held on June 5, 2025; and

WHEREAS, after due consideration, the Zoning Administrator has made the following findings regarding said proposal:

- 1. That the establishment, maintenance, or operation of the use or building conforms with the General Plan for the County concerning traffic circulation, population densities and distribution, and other aspects of the General Plan considered by the Zoning Administrator to be pertinent.**

The project site is designated Rural Residential by the Solano County General Plan Land Use diagram (Figure LU-1). The existing zoning designation of Rural Residential 5-acre (RR-5), and the current lot size of 5.06 acres, are consistent with the General Plan Designation. The proposed use is conditionally permitted within the RR-5 zoning district.

- 2. Adequate utilities, access roads, drainage and other necessary facilities have been or are being provided.**

The site is accessed via Lillys Lane, a private roadway, and is currently developed with a residential well and a private sewage disposal system. As proposed and conditioned, the existing and proposed infrastructure and site improvements are determined to be adequate to support the existing and proposed structures and associated land uses.

- 3. The subject use will not, under the circumstances of this particular case, constitute a nuisance or be detrimental to the health, safety, peace, morals, comfort, or general welfare of persons residing or working in or passing through the neighborhood of such proposed use or be detrimental or injurious to property and improvements in the neighborhood or to the general welfare of the County.**

With the proposed conditions, this project will not constitute a nuisance to surrounding properties, nor will it be detrimental to the health, safety, or welfare of County residents.

- 4. The proposed accessory structure complies with the State Board of Forestry and Fire Protection's State Responsibility Area (SRA) fire regulations.**

The project site is located within a Moderate Fire Hazard Severity Zone and designated SRA. The accessory structure is sited over 100 feet from all property lines and 35 feet from the existing residence, exceeding the required 30-foot minimum setback from property lines as outlined in the SRA fire regulations.

5. The project qualifies for a Categorical Exemption from the California Environmental Quality Act pursuant to the following:

The project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303 Class 3, New Construction or Conversion of Small Structures. In accordance with this exemption, the property involves the construction of a single new small structure. Section 15303(e) specifically identifies accessory (appurtenant) structures such as garages, carports, patios, swimming pools, and fences as examples qualifying under this exemption. The proposed metal building is an incidental accessory structure, comparable to those listed, and is appurtenant to the existing residential use of the property.

BE IT THEREFORE RESOLVED that the Zoning Administrator has approved Minor Use Permit application MU-25-01 subject to the following recommended conditions of approval:

ADMINISTRATIVE

1. **Land Use.** The proposed land uses shall be established and operated in accordance with the application materials and development plans submitted for Minor Use Permit MU-25-04, received on March 19, 2025, and as approved by the Solano County Zoning Administrator. Approval of this permit would authorize approval of Building Permit application B2025-0150 which has been submitted for the proposed new structure.
2. **Revisions or Modifications of Land Use.** Pursuant to Section 28.106(I) of the County Code, no additional land uses or activities including new or expanded buildings shall be established beyond those identified on the approved development plan and detailed within the project description without prior approval of a revision, amendment, or new use permit and subsequent environmental review or a determination by the Director of Resource Management that the proposed modification is in substantial compliance with the existing approval.
3. **Indemnification.** By acceptance of this permit, the permittee and its successors in interest agree that the County of Solano, its officers, and employees shall not be responsible for injuries to property or person arising from the issuance or exercise of this permit. The permittee shall defend, indemnify, and hold harmless the County of Solano, its officers, and employees, from all claims, liabilities, losses, or legal actions arising from any such injuries. The permittee shall reimburse the County for all legal costs and attorney's fees related to litigation based on the issuance and/or interpretation of this permit. This agreement is a covenant that runs with the land and shall be binding on all successors in interest of the permittee.
4. **Permits Required.** The Project shall comply with all applicable Solano County Zoning regulations and Building Code provisions and secure all required local, state, regional and federal permits required to operate.
5. **Failure to Comply.** Failure to comply with any of the conditions of approval or limitation set forth in this permit shall be cause for the revocation of the use permit and cessation of the permitted uses at the Permittee's expense.

6. **Exercise of Permit.** The permit shall be deemed exercised once all **required** action items below have been completed and verified by County staff. If the permit is not exercised within one year of the date of issuance, the permittee may request that a one-time extension of one (1) year to exercise the permit be granted by the Zoning Administrator, otherwise the permit will be deemed null and void with no further action.
7. **Permit Term.** This Use Permit is subject to renewal every five (5) years pursuant to Section 28.106(N) of the Solano County Code. Renewal may be granted if said application is received prior to June 5, 2030, and the use remains in compliance with these Conditions of Approval.

Action Needed - Administrative				
COA #	Required to exercise Y/N	Action	When	Verified
7	N	Submit renewal application	Every 5 years	

OPERATIONAL CONTROLS

8. **Hazard or Nuisance.** The Permittee shall take such measures as may be necessary or as may be required by the County to prevent offensive noise, lighting, dust, or other impacts, which constitute a hazard or nuisance to residents, visitors, or property in the surrounding areas.
9. **Junk & Debris.** The premises shall be maintained in a neat and orderly manner and kept free of accumulated debris and junk.
10. **Fugitive Dust.** Any access from unpaved dirt roads and with unpaved on-site access roads and parking areas shall control fugitive dust with water trucks, sprinkler system or other practices acceptable to the applicable air quality management district, as needed to prevent airborne dust.
11. **Odor.** The facility shall not cause objectionable odors on adjacent properties.
12. **Lighting and Glare.** All light fixtures shall be installed that have light sources aimed downward and shielded to prevent glare or reflection or any nuisance, inconvenience, and hazardous interference of any kind on adjoining streets or property.

BUILDING AND SAFETY DIVISION

13. **Building Permit Application.** Prior to any construction or improvements taking place, a Building Permit Application shall first be submitted as per Section 105 of the 2022 California Building Code: "Any owner or authorized agent who intends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure shall first make application to the building official and obtain the required permit."
14. **Certificate of Occupancy.** No building shall be used or occupied and no change in the existing occupancy classification of a building or structure or portion thereof shall be made until the Building Official has issued a Certificate of Occupancy.

15. **Building Permit Plans.** The Building Permit plans shall include a code analysis as listed below and the design shall be under the current California Codes and all current rules, regulations, laws, and ordinances of local, State, and federal requirements. Upon Building Permit submittal, the licensed architect shall provide the following Code Analysis:
- a. Occupancy Classification
 - b. Type of Construction
 - c. Seismic Zone
 - d. Location on Property
 - e. Height of all buildings and structures
 - f. Number of stories
 - g. Occupant Load
 - h. Allowable Floor Area
16. **Plans and Specifications.** Shall meet the requirements as per section 105 of the current California Building Code. "Construction documents, statement of special inspections and other data shall be submitted in one or more sets with each permit application. The construction documents shall be prepared by a registered design professional where required by the statutes of the jurisdiction in which the project is to be constructed. Where special conditions exist, the Building Official is authorized to require additional construction documents to be prepared by a registered design professional. Electronic media documents are permitted when approved by the Building Official. Construction documents shall be of sufficient clarity to indicate the location, nature, and extent of work proposed, and show in detail that it will conform to the provisions of this code and relevant laws, ordinance, rules, and regulations, as determined by the building official."
17. U occupancy buildings (except for agricultural buildings) larger than 3,000 SF require fire sprinklers.
18. For each existing unpermitted structure, either application for a demolition permit is required to remove the structure, or application for a Building Permit is required. The plans shall comply with the 2022 California Building Code and the following design criteria:
- a. **Wind:** Basic Wind Speed 93 MPH, Exposure C.
 - b. **Seismic:** Seismic Design Category D.
 - c. **Snow:** Ground Snow Load 0 pounds per square foot
 - d. **Minimum Foundation Depth:** 12 inches
19. The proposed accessory building shall meet all the State Responsibility Area requirements of the 2022 California Residential Code, Section 337.

Action Needed - Building Division				
COA #	Required to exercise Y/N	Action	When	Verified
14	Y	Submit Building Permits	June 5, 2025	Y

PUBLIC WORKS DIVISION

20. The proposed changes must not affect existing stormwater drainage pattern, and any excess flow created by the proposed impervious area is properly mitigated by utilizing roofline gutters, downspouts, swales, or any other feature, that will prevent accumulation and erosion and accomplish the objective of unimpaired flow.
21. Applicant shall apply for, secure, and abide by the conditions of a Grading Permit for any grading or drainage improvements on the property including, but not limited to, building site preparation, private access improvements, parking areas and walkways, as well as any onsite grading exceeding a total of 5,000 square feet. Agricultural soil cultivation does not require a Grading Permit.

Action Needed - Building Division				
COA #	Required to exercise Y/N	Action	When	Verified
20 and 21	Y	Submit Building Permits	Per condition	

VACAVILLE FIRE DISTRICT

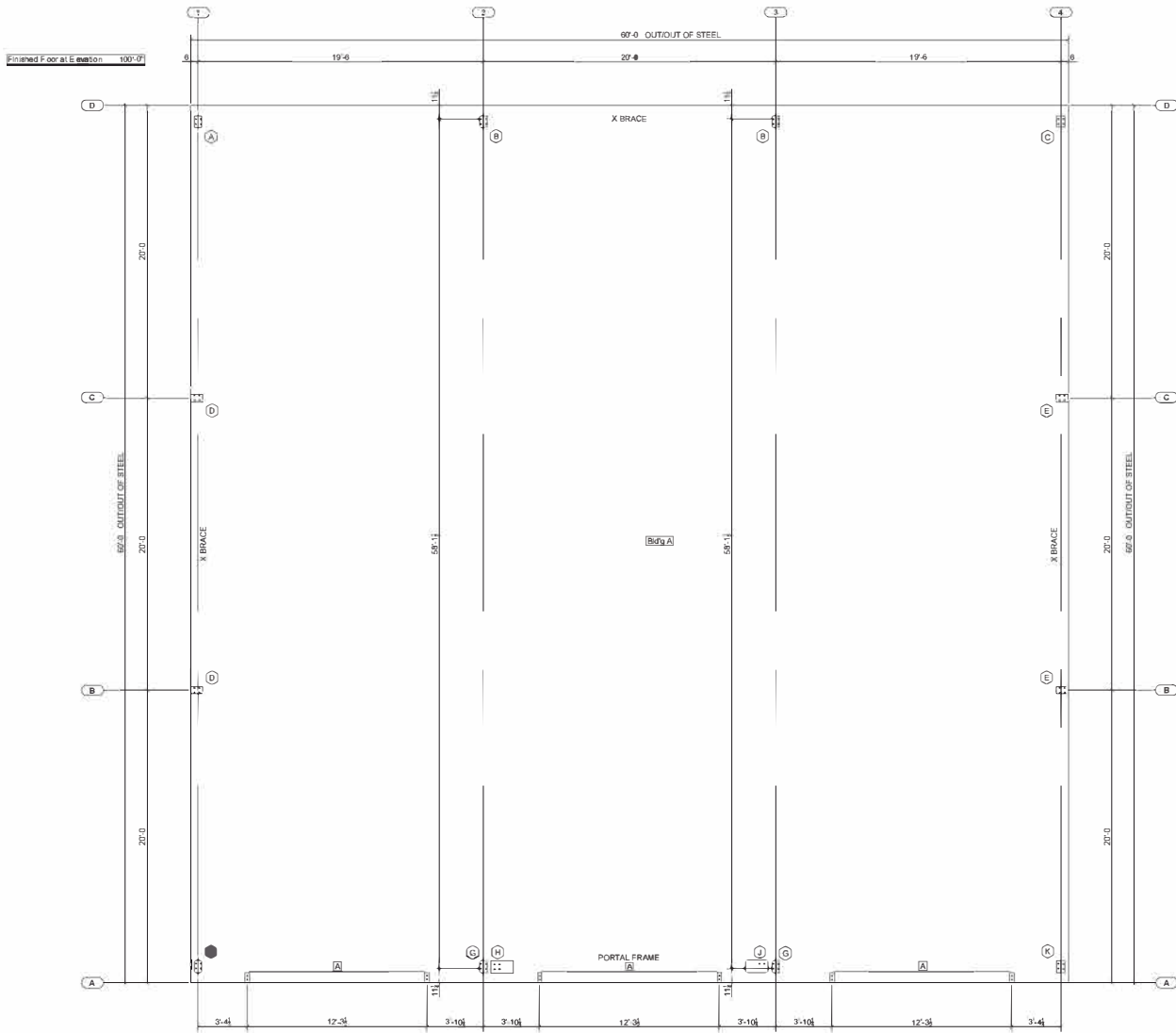
22. All requirements of the Vacaville Fire District shall be met.

* * * * *

I hereby certify that the foregoing resolution was adopted at the regular meeting of the Solano County Zoning Administrator on June 5, 2025.

Allan M. Calder, Planning Manager
Resource Management





Anchor Rod Setting Plan

Anchor Rod Drawings

- 1) This drawing is for anchor rod placement only and is not foundation design.
- 2) Foundation must be square and level with all anchor rods true in size, location, and projection.
- 3) Projection shown must be held to keep threads clear of finished concrete.
- 4) This structural design data includes magnitude and location of design loads and support conditions, material properties and type and size of major structural members necessary to show compliance with the Order Documents at the time of this issue. Any change to building loads or dimensions may change structural member sizes and locations shown. This structural design data will be superseded and voided by any future meeting.
- 5) Anchor rod size as noted on the drawings has been determined by shear and tension at the bottom of the base plate. The length of the anchor rod and method of load transfer to the foundation are to be determined by the foundation engineer. SUBJECT TO CHANGE BASED ON FINAL DESIGN.
- 6) Anchor rods are not provided by the metal building manufacturer. ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE PRELIMINARY DRAWINGS.
- 7) 3000 psi concrete compressive strength (fc) is assumed for the purpose of this design unless otherwise noted.

Revision	Date	Description	By	Chk

EMPIRE STEEL BUILDINGS
5230 CARROLL CANYON RD #300 SAN DIEGO, CA 92121
(602) 995-1443

Customer:
EMPIRE STEEL BUILDINGS
5230 CARROLL CANYON RD STE 300
SAN DIEGO CA 92121-1781

Project Name & Location:
DUFFS BALLENTRAE
4465 LILLYS LN
MCAVILLE GA 30688-3326

☐ Issued For Approval
☒ Issued For Construction

☐ Drawing Stamped
☒ Out For Construction

Scale: NOT TO SCALE

Drawn by: NEJ 1/9/25

Checked by: LMC 1/10/25

Project Engineer: DE

Job Number: 19-B-82359

Sheet Number: F1 of 3

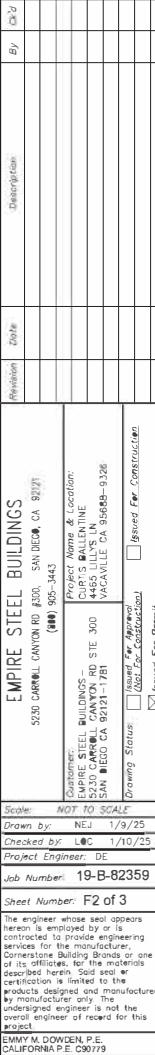
The engineer whose seal appears hereon is employed by or is contracted to provide engineering services for the manufacturer, Cornerstone Building Brands or one of its offices, for the products described herein. Said seal & certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.

EMMY M. DOWDEN, P.E.
CALIFORNIA P.E. C90779

This item has been electronically signed and sealed by Emmy M. Dowden, P.E. on the date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.



FRAMED OPENING SCHEDULE			
MAIN	DESCRIPTION	DETAIL	QUAN
1A	12'-0" X 14'-0" FRAMED OPENING	(A)	3



LOAD GROUP DESCRIPTION	
D	Dead load
C	Collision load
L	Live load
W1	Wind load as an upward acting pressure
W2	W1 rebated as an upward acting suction
W3	Wind force from the right
W4	Wind force from the left
W5+6	W5, 10 psf wind as an upward acting pressure
W7	Semantic force acting upward
W8	Semantic force acting outward
W9	Semantic force from right
W10	Semantic force from left

10	1	Down lead
C	1	Collateral lead
L	1	Uprn lead
W1	1	Wind load as an inward acting pressure
W2	1	Wind load as an outward acting suction
W3	1	Wind force from face right
W4	1	Wind force from face left
E1	1	Seismic force acting upward
E2	1	Seismic force acting downward
W1E1	1	Min. 16 psf wind as an inward acting pressure
W1E2	1	Seismic force from right
W1E3	1	Seismic force from left

QUESTION 1

Figure 1 shows a frame structure with a horizontal span of 10 m and a vertical height of 4 m. The frame is subjected to a uniformly distributed load of 10 kN/m acting vertically downwards on the beam. The frame is supported by a pin support at the left end and a roller support at the right end. The frame is made of a material with a modulus of elasticity of $E = 200 \text{ GPa}$ and a moment of inertia of $I = 100 \text{ m}^4$. The frame is analyzed using the finite element method with 2 elements and 3 nodes. The frame is discretized into two elements of length 5 m each. The nodes are numbered 1, 2, and 3 from left to right. The degrees of freedom are numbered 1, 2, and 3 for each node. The frame is analyzed using the direct stiffness method. The frame is analyzed using the finite element method with 2 elements and 3 nodes. The frame is discretized into two elements of length 5 m each. The nodes are numbered 1, 2, and 3 from left to right. The degrees of freedom are numbered 1, 2, and 3 for each node. The frame is analyzed using the direct stiffness method.

ANSWER 1

The frame structure is shown in Figure 1. The frame is subjected to a uniformly distributed load of 10 kN/m acting vertically downwards on the beam. The frame is supported by a pin support at the left end and a roller support at the right end. The frame is made of a material with a modulus of elasticity of $E = 200 \text{ GPa}$ and a moment of inertia of $I = 100 \text{ m}^4$. The frame is analyzed using the finite element method with 2 elements and 3 nodes. The frame is discretized into two elements of length 5 m each. The nodes are numbered 1, 2, and 3 from left to right. The degrees of freedom are numbered 1, 2, and 3 for each node. The frame is analyzed using the direct stiffness method.

LOAD GROUP DESCRIPTION

DL	Roof Dead Load
LL	Roof Live Load
COLL	Roof Collateral Load
SEISMED	Downward Acting Roof Braced Load from Lateral Seismic
SE	Uplifting Seismic Load Applied to plates of Braced
RFSEISM	Uplifting RF Seismic Load from Lateral Seismic
HL1	Wind from Left to Right with +CdG
HL2	Wind from Left to Right with -CdG
HL3	Wind from Right to Left with +CdG
HL4	Wind from Right to Left with -CdG
HLR1	Windward Corner Load with +CdG
HLR2	Windward Corner Load with -CdG
HLR3	Windward Corner Load with +CdG
HLR4	Windward Corner Load with -CdG
SEISMUL	Uplifting RF Seismic Load from Lateral Seismic
LR1	Windward G-easter Wind with +CdG
LR2	Windward G-easter Wind with -CdG
LR3	Windward G-easter Wind with +CdG
LR4	Windward G-easter Wind with -CdG
SEISUL	Downward Acting Roof Braced Load from Lateral Seismic

- 1) THE REACTIONS PROVIDED ARE BASED ON THE ORDER DOCUMENTS AT THE TIME OF MAKING. ANY CHANGES TO BUILDING LOADS OR DIMENSIONS OF THE BUILDING OR REACTIONS MAY BE SUPERSEDED AND REVOKED BY ANY FUTURE MAKING.
- 2) THE REACTIONS PROVIDED HAVE BEEN CREATED WITH THE FOLLOWING ASSUMPTIONS:
 - a) A REACTION TABLE IS PROVIDED WITH THE REACTIONS FOR EACH REACTION POINT (NOTED OTHERWISE)
 - b) RIGID FLOORS
 - c) GABLED BUILDINGS
 - d) LEFT AND RIGHT COLUMNS ARE DETERMINED AS IF VIEWING THE LEFT SIDE OF THE BUILDING, AS SHOWN ON THE ANCHOR ROD LAYOUT FROM THE OUTSIDE OF THE BUILDING
 - e) INTERIOR COLUMNS ARE SPACED FROM LOW SIDE TO RIGHT SIDE
 - f) SINGLE SLOPE BUILDINGS
 - g) LEFT COLUMN IS THE LOW SIDE COLUMN
 - h) RIGHT COLUMN IS THE HIGH SIDE COLUMN
 - i) INTERIOR COLUMNS ARE SPACED FROM LOW SIDE TO HIGH SIDE
- 3) LEFT AND RIGHT COLUMNS ARE DETERMINED AS IF VIEWING THE BUILDING FROM THE OUTSIDE:
 - 1) INTERIOR COLUMNS ARE SPACED FROM LEFT TO RIGHT
 - 2) ANCHOR ROD SIZE IS DETERMINED BY SHEAR AND TENSION AT THE END OF THE BACK END OF THE ANCHOR ROD
 - 3) ANCHOR RODS ARE TO BE WELDED TO THE FOUNDATION AND ARE TO BE DETERMINED BY THE FOUNDATION ENGINEER
- 4) ALL REACTIONS ARE TO BE PROVIDED WITH STEEL MATERIAL UNLESS NOTED OTHERWISE ON THE ANCHOR ROD LAYOUT DRAWING
- 5) BRACING
 - 1) ADD BRACING REACTIONS HAVE BEEN INCLUDED IN VIEWS SHOWN IN THE REACTION TABLES
 - 2) ALL VIEWS USED BASED BUILDING CODES WHEN X-BRACING IS PRESENT IN THE SIDE WALL. INDIVIDUAL LONGITUDINAL SEISMIC REACTIONS FOR SEABOARD AND RIBBONS DO NOT INCLUDE AN AMPLIFICATION FACTOR, B_0
- 6) (FOR) CANAL BUILDING CODE (NBC), WHEN X-BRACING IS PRESENT IN THE GENERAL OR RIBBON BUILDING DESIGN (SECTION 1000), REACTIONS (RIBBON & RIBBON) ARE MULTIPLIED BY FORCE REDUCTION FACTOR R WHEN SPECIFIED SHORT-PERIOD SPECTRAL ACCELERATION RATIO ($A_{SD} \geq 0.2$) IS GREATER THAN 0.45
- 7) REACTIONS ARE PROVIDED AS UN-FACTORED FOR EACH LOAD GROUP
- 8) THE FOLLOWING FACTORS ARE TO BE APPLIED TO THE REACTIONS TO DETERMINE BEARING PRESSURES AND CONCRETE DESIGN. THE FACTORS APPLIED TO LOAD GROUPS FOR THE STEEL COLUMN DESIGN MAY BE:
 - a) FACTOR FOR WIND SPEEDS LESS THAN 100 MPH
 - b) FACTOR FOR PROJECTS USING ULTIMATE DESIGN WIND SPEEDS SUCH AS 102 MPH
 - c) FACTOR FOR WIND SPEEDS GREATER THAN 102 MPH
 - d) FACTOR FOR A STRENGTH VULNERABLE WITH A LOAD FACTOR OF 1.0
 - e) FACTOR FOR THE SEISMIC DESIGN PROVIDED WITH AT A STRENGTH LEVEL AND DO NOT CONTAIN A LOAD FACTOR
 - f) FOR NBC CODES, THE SEISMIC REACTIONS PROVIDED DO NOT INCLUDE R FACTOR
- 9) THE MANUFACTURER DOES NOT PROVIDE "MAXIMUM" LOAD COMBINATION REACTIONS. HOWEVER, THE INDIVIDUAL LOAD REACTIONS PROVIDED MAY BE COMBINED TO DETERMINE THE MAXIMUM REACTIONS
- 10) LOAD COMBINATIONS FOR HIGHER DESIGN PROCEDURES AND ALLOW FOR

SECTION NOTES

EMPIRE STEEL BUILDINGS 5230 CARROLL CANYON RD #300, SAN DIEGO, CA 92121 (604) 905-1443	Checkboxes: EMPIRE STEEL BUILDINGS - 5230 CARROLL CANYON RD #300 SAN DIEGO CA 92121-1781	Physical Map and Location: CUPP'S BALLENTRINE 4465 JULY'S IN 845045 CA 95048-9128
Drawing Status:	<input checked="" type="checkbox"/> Issued For Permit <input type="checkbox"/> Issued For Construction <input type="checkbox"/> Issued For Collection	<input type="checkbox"/> Issued For Construction

Scale:	NOT TO SCALE
Drawn by:	NEJ 1/9/25
Checked by:	LBC 1/10/25
Project Engineer:	DE
Job Number:	19-B-82359
Sheet Number:	F3 of 3

The engineer whose seal appears herein is employed by or is contracted to provide engineering services for the manufacturer, Cornestone Building Brands or one of its affiliates, and the materials described herein. Solid seal or certification is limited to the products designed and manufactured by the manufacturer. The undersigned engineer is not the overall engineer of record for this project.

EMMY M. DOWDEN, P.E.
CALIFORNIA P.E. C90799

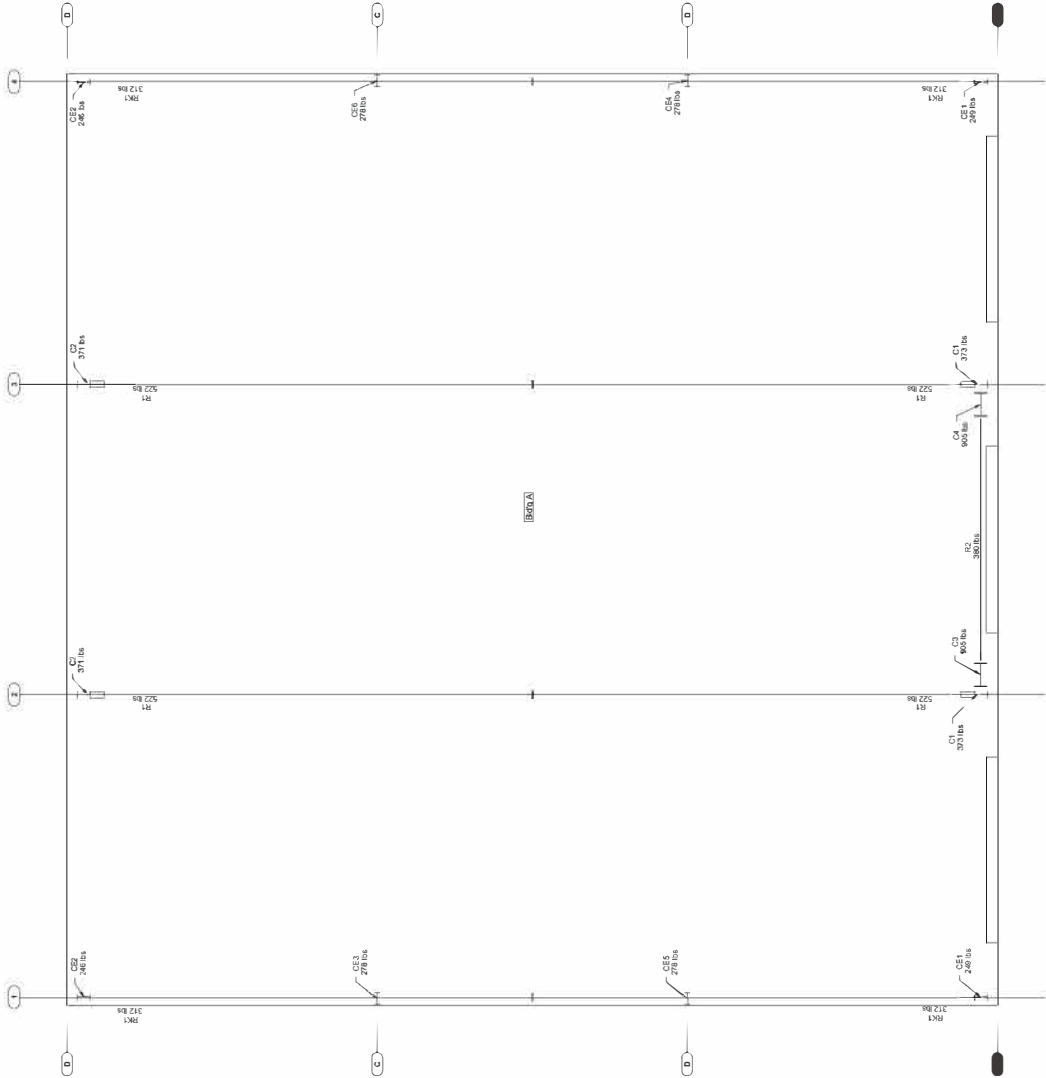
This item is electronically signed and sealed by Emmy M. Dowden, P.E. on the date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN.
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.

Emmy M. Donder
Jan 14 2025

This item has been electronically signed and sealed by Emmy M. Dowden, P.E. on the date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.

Primary Steel



Key Plan

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN.
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.

EMMY M. DOWDEN, P.E.
CALIFORNIA P.E. C90779

Sheet Number: E2 of 12

The engineer whose seal appears hereon is employed by or is contracted to provide engineering services for the manufacturer, Cornerstone Building Brands or one of its affiliates, for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.

Job Number: 19-B-82359

Checked by: LQC 1/13/25

Scale: NOT TO SCALE

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5230 BUILD CAN 9212

MP1

RE CANYON STE

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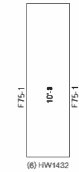
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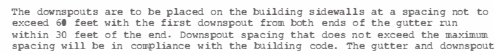
#4 - Lap fasteners are to be used for panel to panel and panel to trim attachment.

(3) F2955-1B
(1) F7001-1BL
(1) F7001-2BR
(2) F7000-1B
(30) F898-1 @ Z O.C.
(20) HW456
(20) HW455



F75-1
10-9
F75-1
(6) HW1432

Roof Sheeting



Roof Sheeting

NYON RD STE 300
21-1781
4455 LILLYS LN
VACAVILLE CA 95689

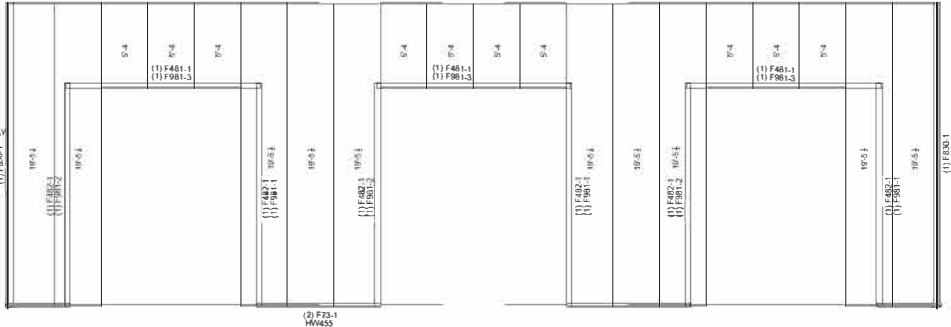
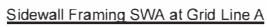
Jan 14 2025

Emmy M. Donder
Jan 14, 2025

Non-Standard Wall Panel Fasteners

#3A – Member fasteners are to be used for panel to secondary attachment.
#4 – Lap fasteners are to be used for panel to panel and panel to trim attachment.

PBR Wall Panels
Panel Coverage = 3'-0"
Panel Color = S200 CHARCOAL GRAY
Panel Pkg. Req'd. = PBS-3
Field Cut Panel and Trim as
required per Construction Details

Sidewall Sheeting SWA

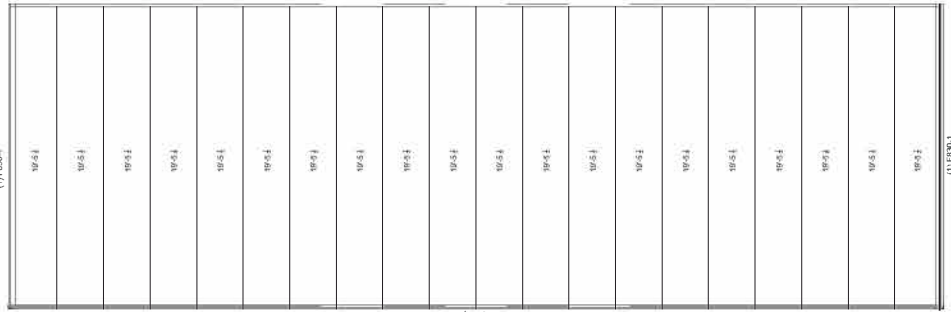
By	Check	Revision	Date	Description
<p>EMPIRE STEEL BUILDINGS</p> <p>5200 CARROLL CANYON RD #300, SAN DIEGO, CA 92121 (602) 905-3443</p> <p>Project Name & Location: EMPIRE STEEL BUILDINGS - 5200 CARROLL CANYON RD STE 300 4665 LULLYS LN VACAVILLE CA 95668-9126 SAN DIEGO CA 92121-1781</p> <p>Contractor: <input type="checkbox"/> Issued For Construction <input checked="" type="checkbox"/> Issued For Approval <input type="checkbox"/> Issued For Permit</p> <p>Scale: NOT TO SCALE</p> <p>Drawn by: NEJ 1/9/25 Checked by: LWC 1/13/25 Project Engineer: DE Job Number: 19-B-82359</p> <p>Sheet Number: E5 of 12</p> <p>The engineer whose seal appears herein is employed by or is contracted to provide engineering services for the manufacturer, Contractor Building Sheds or one of its affiliates, for the materials described herein. Seal and/or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.</p> <p>EMMY W DOWDEN P.E. CALIFORNIA P.E. C00719</p>				

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.


 Emily M. Donder
 Jan 14, 2025

Non-Standard Wall Panel Fasteners

#3A – Member fasteners are to be used for panel to secondary attachment.
#4 – Lap fasteners are to be used for panel to panel and panel to trim attachment.



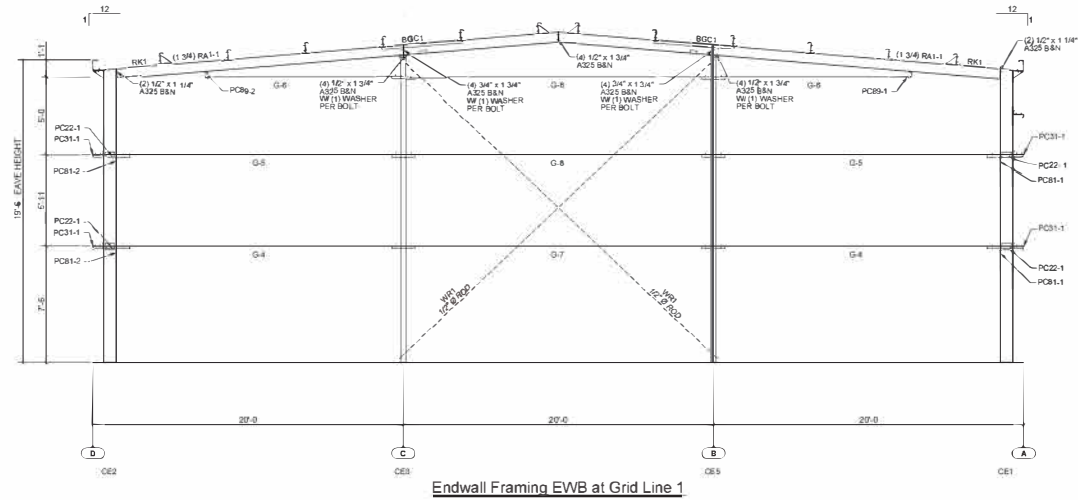
Sidewall Sheeting SWC

SYMBOL	LAP LENGTH	SYMBOL	LAP LENGTH
	3'-0 1/4"		2'-5 3/4"
	0'-3 3/4"		3'-1 3/4"
	1'-5 3/4"	REFER TO CP01122	

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.

By	Date	Revision	Scale:	Drawing Status:	Project Name & Location:
			NOT TO SCALE	<input type="checkbox"/> Issued For Construction <input checked="" type="checkbox"/> Issued For Approval <input type="checkbox"/> Not For Construction	EMPIRE STEEL BUILDINGS 5250 CHARLOTTE CANYON RD #300, SAN DIEGO, CA 92171 (602) 565-3443 Contracted Buildings:- 5230 CHARLOTTE CANYON RD S/E 300 4465 LAYS LN VACAVILLE CA 92121-1781 SAN DIEGO CA 92185-9326
The Engineer whose seal appears hereon is employed by or is contracted to provide engineering services for this manufacturer.					
Generators Building Brands or one of its affiliates, for the materials described herein. Good seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.					
Job Number: 19-B-82359 Sheet Number: E6 of 12 ENGINEER'S SEAL AND SIGNATURE REQUIRED EMMY M DOWDEN P.E. CALIFORNIA P.E. #30719					


 Emory M. Donder
 Jan 14, 2025



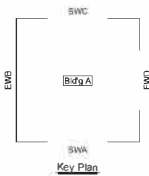
Endwall Framing EWB at Grid Line 1

Non-Standard Wall Panel Fasteners

#4 - Lap fasteners are to be used for panel to panel and panel to trim attachment.



Endwall Sheeting EWB



Key Plan

<h2 style="margin: 0;">EMPIRE STEEL BUILDINGS</h2>		<h2 style="margin: 0;">CONCRETE STEEL BUILDINGS</h2>	
5200 CANYON CANYON RD #300, SAN DIEGO, CA 92121 (619) 900-3443		4440 LULLS LN, WACAVILLE CA 95689-4326 (916) 921-7871	
Project Name: Location: CONCRETE STEEL BUILDINGS - CANYON CANYON, SD		Project Name: Location: CONCRETE STEEL BUILDINGS - WACAVILLE, CA	
Drawn by: NEJ 1/9/25 Checked by: LWC 1/13/25 Project Engineer: D Job Number: 19-B-82359		Drawing Status: <input checked="" type="checkbox"/> Issued For Approval <input type="checkbox"/> Issued For Construction <input type="checkbox"/> Revised For Permit	
Scale: NOT TO SCALE			
Sheet Number: Of 12			
The engineer who sealed appears here is employed by or is independent contractor to provide engineering services for the manufacturer. The manufacturer is not responsible for the products designed and manufactured by manufacturer only. The manufacturer is responsible for the overall engineering of record for this project.			
EMMY M. DOWDEN, P.E. CALIFORNIA P.E. C00779			

Scale: NOT TO SCALE

Drawn by: NEJ 1/9/25

Checked by: LOC 1/13/25

Project Engineer: DE
Job Number: 19-B-82359

Sheet Number: E7 of 12

The engineer whose seal appears hereon is employed by or is contracted to provide engineering services for the manufacturer.

Services for the manufacturer, Cornerstone Building Brands or one of its affiliates, for the materials described herein. Said seal or certification is limited to the products designed and manufacture by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.

EMMY M. DOWDEN, P.E.
CALIFORNIA P.E. C90779

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN
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PERMIT DRAWINGS.

Emmy H. Dondan
Jun 14, 2022

Endwall Framing EWD at Grid Line 4

PER Web Panels
Panel Coverage = 3'0"
Panel Color = S200 CHARCOAL GRAY
Panel Pkg. Req'd. = PBS-2
Field Cut Panel and Trim as
required per Construction Details.

Endwall Sheeting EWD

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.

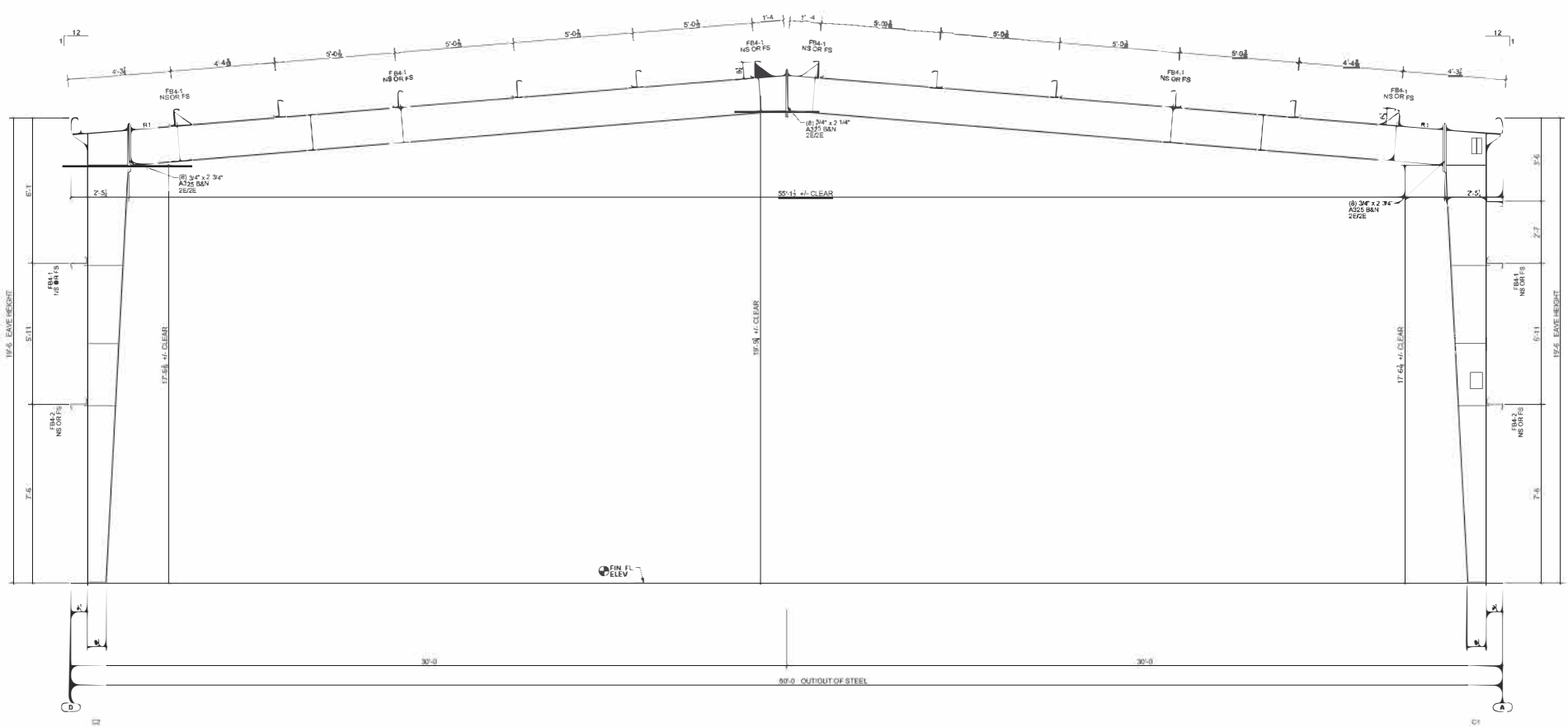


19-B-82359\\ve01-ctsteel\\crosabedem\\BLDG-ALD\\fig\\w01L (010425 00:01:57)

19-B-82359\\ve01-ctsteel\\crosabedem\\BLDG-ALD\\fig\\w01R (010425 00:01:57)

GENERAL NOTES
FRAME CLEARANCES SHOWN ARE APPROXIMATE AND
MAY VARY DUE TO CONDITIONS (DEFLECTION).
VERTICAL CLEARANCE DIMENSIONS ARE FROM
FINISHED FLOOR REFERENCE ELEVATION.

APPROXIMATE MEMBER WEIGHTS	
T MARK	WEIGHT
FB	500
CB	375
CS	371



Cross Section at Frame Line 2

This item has been electronically signed and sealed by Emy M. Dowden, P.E. on the date and/or time stamp shown below a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.

EMPIRE STEEL BUILDINGS

5230 CARROLL CANYON RD #300 SAN DIEGO, CA 92121

(619) 905-1443

Customer:

EMPIRE STEEL BUILDINGS -

5230 CARROLL CANYON RD STE 300

SAN DIEGO CA 92121-1781

Project Name & Location:

4455 LILLY LN

VACAVILLE CA 95688-9326

Drawing Status:

☐ Issued For Approval

☒ Issued For Construction

☐ Issued For Permit

Scale:

NOT TO SCALE

Drawn by:

NEJ 1/9/25

Checked by:

LWC 1/13/25

Project Engineer:

DE

Job Number:

19-B-82359

Sheet Number:

E9 of 12

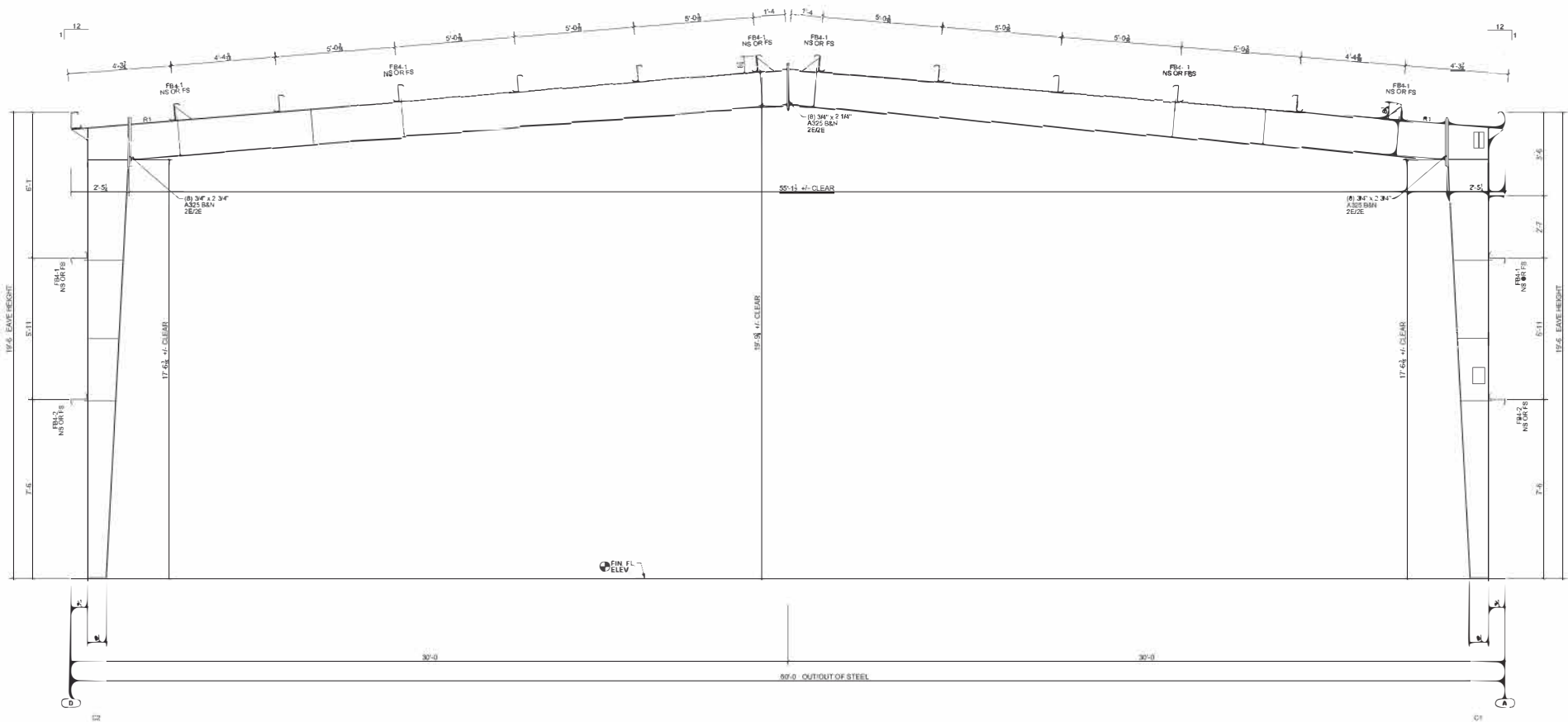
The engineer who does seal appears hereon is employed by or is contracted to provide engineering services for the manufacturer, Commercial Building Brands or one of its offices, for the products described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.

EMMY M. DOWDEN, P.E.

CALIFORNIA P.E. C90779

19-B-62359wa 01-rafael.arceabadan\BLDG-A\Driftglw01R (01/04/25 00:01:57)

GENERAL NOTES
FRAME CLEARANCES SHOWN ARE APPROXIMATE AND
MAY VARY DUE TO CONDITIONS (DEFLECTION).
VERTICAL CLEARANCE DIMENSIONS ARE FROM
FINISHED FLOOR REFERENCE ELEVATION.



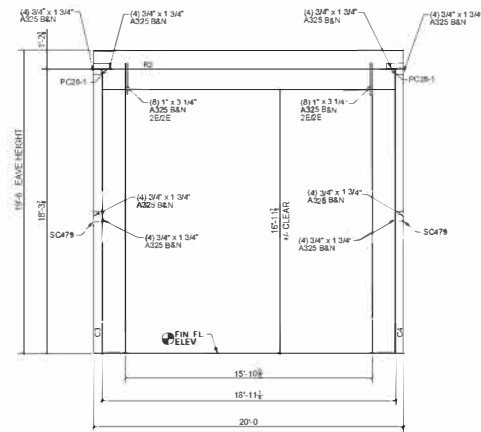
Cross Section at Frame Line 3

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DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.



GENERAL NOTES
FRAME CLEARANCES SHOWN ARE APPROXIMATE AND
MAY VARY DUE TO CONDITIONS (DEFLECTION).
VERTICAL CLEARANCE DIMENSIONS ARE FROM
FINISHED FLOOR REFERENCE ELEVATION



Portal Frame Cross Section SWA at Grid Line A

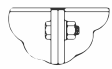
This item has been electronically signed and sealed by Emily M. Dowden, P.E. on the date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certificate Authority on any electronic copy.

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN.
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE
PERMIT DRAWINGS.

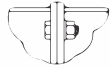


CONNECTION CODES

(FOR TOP AND BOTTOM BOLT PATTERN)



CONNECTION 1B, 1I OR 1P



CONNECTION 1F



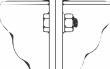
CONNECTION 1E



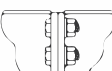
CONNECTION 2B, 2I OR 2P



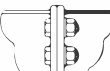
CONNECTION 2F



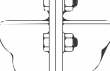
CONNECTION 2E



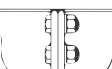
CONNECTION 3B, 3I OR 3P



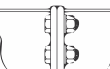
CONNECTION 3F



CONNECTION 3E



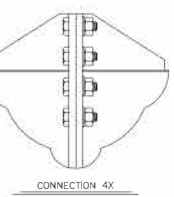
CONNECTION 4B, 4I OR 4P



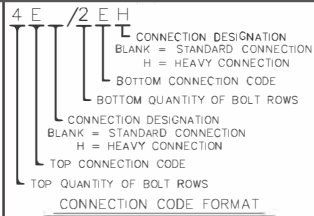
CONNECTION 4F



CONNECTION 4E



CONNECTION 4X



CONNECTION CODE DESCRIPTION

B = THIS DESCRIPTION CODE IS USED TO DEFINE SHEAR CONNECTIONS. BOLTS ARE LOCATED INSIDE THE TOP FLANGE AND CONNECTION PLATE IS RECESSED 1/8" BELOW THE TOP FLANGE. CONNECTION PLATE LENGTH MUST BE A MINIMUM OF HALF THE RAFTER WEB DEPTH AND SHALL NOT EXCEED THE RAFTER TOTAL DEPTH.

E = THIS DESCRIPTION CODE IS USED TO DEFINE MOMENT CONNECTIONS. BOLTS ARE LOCATED WITH ONE SET OUTSIDE THE TOP OR BOTTOM FLANGE AND THE REMAINING SETS ARE LOCATED INSIDE THE TOP OR BOTTOM FLANGE.

F = THIS DESCRIPTION CODE IS USED TO DEFINE MOMENT CONNECTIONS. BOLTS ARE LOCATED INSIDE THE TOP OR BOTTOM FLANGE AND CONNECTION PLATE PROJECTS 1/2" BEYOND THE TOP OR BOTTOM FLANGE.

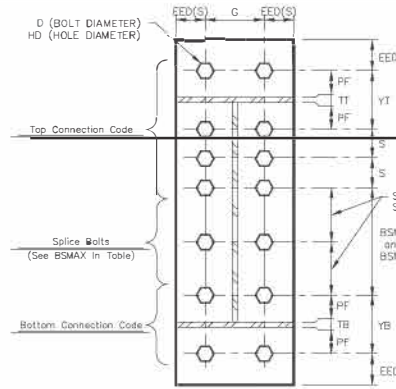
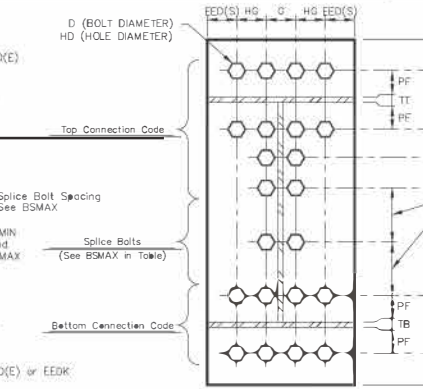
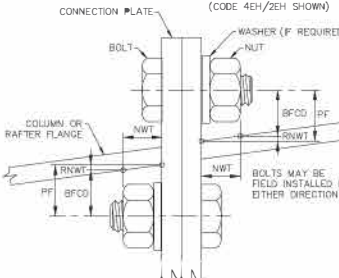
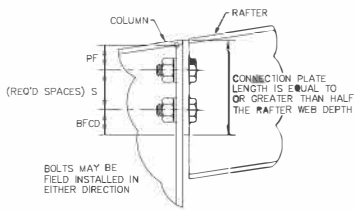
I = THIS DESCRIPTION CODE IS USED TO DEFINE MOMENT CONNECTIONS. BOLTS ARE LOCATED INSIDE THE TOP OR BOTTOM FLANGE AND CONNECTION PLATE IS RECESSED 1/8" BELOW THE TOP OR BOTTOM FLANGE.

P = THIS DESCRIPTION CODE IS USED TO DEFINE SHEAR CONNECTIONS. BOLTS ARE LOCATED INSIDE THE TOP FLANGE AND CONNECTION PLATE IS RECESSED 1/8" BELOW THE TOP FLANGE. CONNECTION PLATE LENGTH MUST BE A MINIMUM OF HALF THE RAFTER WEB DEPTH AND SHALL NOT EXCEED THE RAFTER TOTAL DEPTH.

4X = THIS DESCRIPTION CODE IS USED TO DEFINE MOMENT CONNECTIONS. BOLTS ARE LOCATED WITH TWO SETS EACH SIDE OF THE TOP OR BOTTOM FLANGE WITH A GUSSET PLATE OUTSIDE THE TOP AND BOTTOM FLANGE OR COLUMN CAP PLATE.

CONNECTION BOLT DATA

NAME	DESCRIPTION FOR A325 BOLT DIMENSIONS	A325 CONNECTION BOLT DIMENSIONS					
D	DIAMETER OF THE BOLT	1/2"	3/4"	7/8"	1"	1 1/4"	1 1/2"
HD	BOLT HOLE DIAMETER	9/16"	13/16"	15/16"	1 1/16"	1 5/16"	1 9/16"
G	BOLT GAUGE	2 1/2"	3"	4"	3 1/2"	4"	5 1/2"
	MAX. WEB THICKNESS (Max. 3/8" Fillet Weld) WITHOUT WASHER	1"	1 1/8"	1 7/8"	1 1/4"	1 3/8"	2 1/8"
	MAX. WEB THICKNESS (Max. 3/8" Fillet Weld) WITH WASHER	3/4"	7/8"	1 5/8"	7/8"	7/8"	1 7/8"
HG	HEAVY CONN. BOLT GAUGE	N/A	2 1/4"	2 5/8"	3"	3 3/4"	4"
S	NORMAL BOLT SPACING	2 1/2"	3"	3 1/4"	3 1/2"	4"	4 1/2"
BSMIN	MINIMUM SPACING BETWEEN TOP & BOTTOM SETS OF BOLTS	1 1/2"	2 1/4"	2 5/8"	3"	3 3/4"	4"
BSMAX	MAXIMUM BOLT SPACING BETWEEN TOP AND BOTTOM SETS OF BOLTS ON CONNECTION PLATES	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"	2'-0"
	SPLICE BOLT SPACING (NOT TO EXCEED 2'-0")	(1/2 BSMAX (±1/4") WHEN BSMAX = 2'-0 1/4" TO 4'-0" (1/3 BSMAX (±1/4") WHEN BSMAX = 4'-0 1/4" TO 6'-0" (1/4 BSMAX (±1/4") WHEN BSMAX = 6'-0 1/4" TO 8'-0"					
BFGD	MINIMUM BOLT-TO-FLANGE CLEARANCE AT OUT OF NUT SEE BOLT AT FLANGE DETAIL	1 1/2"	1 3/4"	1 7/8"	2 1/4"	2 1/2"	2 3/4"
PF	MINIMUM BOLT-TO-FLANGE CLEARANCE AT CONNECTION PLATE SEE BOLT AT FLANGE DETAIL	(BFGD + RNWT) PF INSIDE OF FLANGE IS INCREASED BASED ON THE YT & YB VALUE. PF FOR CONNECTION B, F, I AND P ARE THE SAME AS USED ON CONNECTION E					
NWT	NUT AND WASHER THICKNESS	SEE BOLT AT FLANGE DETAIL. NUT THICKNESS IS EQUAL TO THE BOLT DIAMETER AND .15625" WASHER THICKNESS IS USED EVEN IF A WASHER IS NOT REQUIRED.					
RNWT	RISE ON NUT AND WASHER THICKNESS	REFER TO FRAME CROSS SECTION DRAWING FOR LARGEST FLANGE THICKNESS EITHER SIDE OF THE CONNECTION.					
TT	THICKNESS TOP FLANGE						
TB	THICKNESS BOTTOM FLANGE						
YT	BOLT SPACING TOP (ROUND UP TO NEXT 1/2", MIN = S)	3" + TT	3 1/2" + TT	3 3/4" + TT	4 1/2" + TT	5" + TT	5 1/2" + TT
YB	BOLT SPACING BOTTOM (ROUND UP TO NEXT 1/2", MIN = S)	or TB Sloped	or TB Sloped	or TB Sloped	or TB Sloped	or TB Sloped	or TB Sloped
EED(E)	MINIMUM END EDGE DIMENSION	1 1/4"	1 1/4"	1 1/2"	1 3/4"	2 1/4"	2 5/8"
EED(S)	MINIMUM SIDE EDGE DIMENSION	3/4"	1"	1 1/8"	1 1/4"	1 5/8"	2 1/4"
EEDK	END EDGE DIMENSION AT KNEE CONNECTION	1 3/8"	1 3/8"	1 5/8"	1 7/8"	2 3/8"	2 3/4"
BCWM	MINIMUM BOLT CLEARANCE FROM A FLANGE OR WEB WELD	7/16"	5/8"	3/4"	13/16"	1"	1 3/8"
WCSM	MINIMUM WIDTH OF CONNECTION PLATE (Standard Connection)	5"	6"	8"	8"	10"	12"
WCHM	MINIMUM WIDTH OF CONNECTION PLATE (Heavy Connection)	N/A	10"	12"	12"	16"	18"
TCMN	MINIMUM THICKNESS OF CONNECTION PLATE	1/4"	3/8"	7/16"	1/2"	5/8"	1"

STANDARD CONNECTION DESIGNATION
(CODE 4E/2E SHOWN)HEAVY CONNECTION DESIGNATION
(CODE 4EH/2EH SHOWN)Frame Documentation
A325 Connection Bolt Details05-12-10
Mar '24 06

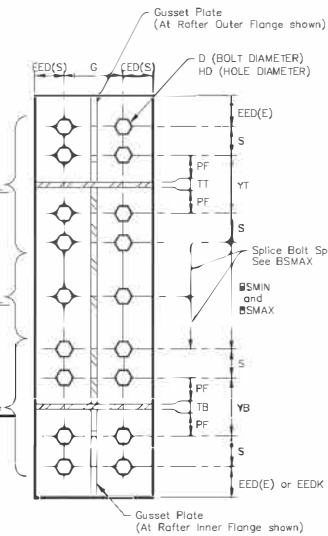
B 4E/2EH

Connection Code (See "Connection Code Format" on this drawing)

Connection Location

CROSS SECTION CONNECTION CODE KEY
(AS SHOWN AT CONNECTIONS ON FRAME CROSS SECTION DRAWINGS)

Part Mark	Material
FB4	L 2" x 2" x 14 Ga.
FB5	L 2" x 2" x 14 Ga.
FB6	L 2" x 2" x 14 Ga.
FB7	L 2 1/2" x 2 1/2" x 16"

4X CONNECTION DESIGNATION
(CODE 4X/4X SHOWN)

This item has been electronically signed and sealed by Emy M. Dowden, P.E. on the date and/or time stamp shown using a digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified by a 3rd Party Certified Authority on any electronic copy.

DETAILS SUBJECT TO CHANGE BASED ON FINAL DESIGN
ISSUED FOR CONSTRUCTION DRAWINGS WILL REPLACE THE PERMIT DRAWINGS.

EMPIRE STEEL BUILDINGS
5230 CARROLL CANYON RD. #100, SAN BEA, CA 92121
(909) 905-1443

EMPIRE STEEL BUILDINGS
5230 CARROLL CANYON RD. STE. 100
SAN BEA, CA 92121-1781

Customer: EMPIRE STEEL BUILDINGS
Project Name & Location: 4445 LILLY LN VACAVILLE CA 95688-9326

Scale: NOT TO SCALE
Drawn by: NEJ 1/9/25
Checked by: LOC 1/13/25
Project Engineer: DE
Job Number: 19-B-82359
Sheet Number: E12 of 12

The engineer who sealed appears herein is employed by or is contracted to provide engineering services for the manufacturer. Construction Building Brands or one of its affiliates, for the materials described herein. Said seal or certification is limited to the products designed and manufactured by manufacturer only. The undersigned engineer is not the overall engineer of record for this project.

EMMY M. DOWDEN, P.E.
CALIFORNIA P.E. C90779

Approved For Construction
Issued For Permit

Emmy M. Dowden
Jun 14, 2024

DEPARTMENT OF RESOURCE MANAGEMENT



Planning Services Division

NOTICE OF PUBLIC HEARING

(Zoning Administrator)

NOTICE IS HEREBY GIVEN that the Solano County Zoning Administrator will hold a PUBLIC HEARING to consider Minor Use Permit Application No.: MU-25-04 of Curtis and Renee Ballentine to construct a 3600 square foot residential accessory structure located 0.1 miles north of the City of Vacaville in the Rural Residential (RR-5) Zoning District. The project has been determined not to have a significant effect on the environment and is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303. The property is located at 4465 Lillys Lane, APN 0105-210-290. (Project Planner: Stevie Villatoro, 707-784-6765)

The hearing will be held on **Thursday, June 5, 2025, at 10:00 a.m.** in the Department of Resource Management Conference Room, 5th Floor, County Administration Center, 675 Texas Street, Fairfield, California. Staff reports and associated materials will be available to the public approximately one week prior to the meeting at www.solanocounty.gov under Departments; Resource Management; Boards, Commissions & Special Districts; Solano County Zoning Administrator.

The County of Solano does not discriminate against persons with disabilities. If you wish to participate in this meeting and you will require assistance in order to do so, please call 707-784-6765 at least 24 hours in advance of the event to make reasonable arrangements to ensure accessibility to this meeting.

PUBLIC COMMENTS:

In-Person: You may attend the public hearing at the time and location listed above and provide comments during the public speaking period. **Email/Mail:** Written comments can be emailed to Planning@SolanoCounty.gov or mailed to Resource Management, Zoning Administrator, 675 Texas Street, Suite 5500, Fairfield, CA 94533 and must be received by 8:00 a.m. the day of the meeting. Copies of written comments received will be provided to the Zoning Administrator and will become a part of the official record but will not be read aloud at the meeting.

If you challenge the proposed consideration in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Zoning Administrator at, or prior to, the public hearing.

Daily Republic - legal ad/one time – Wednesday, May 21, 2025
Vacaville Reporter - legal ad/one time - Wednesday, May 21, 2025